GENERAL NOTES Home Plans designed in compliance with 2018 K.R.C. one and two family dwelling code. I. DESIGN LOADS

First floor 40 p.s.f. live load 10 p.s.f. dead load Second floor 40 p.s.f. live load 30 p.s.f. live load 17 p.s.f. dead load Soil pressure 2000 p.s.f. Garage Slab 50 p.s.f. live load

Deck / Porch 40 p.s.f. live load 10 p.s.f. dead load Wind Speed 90 MPH

Maximum Deflection Limits
Floor= L / 360 Walls= L / 240
Exposed rafters with less than 3/12 pitch= L / 240
Exposed rafters with greater than 3/12 pitch= L / 180

NOTE: Verify design loads with local codes & site conditions. Check with local building dept. officials or specific loading conditions.

Contractor is to verify that the soil & site conditions are in accordance with KRC 401. Soils testing is not the responsibility of the designer. All design work is based on solid, well draining, and non-expansive soil with a min. bearing capacity of 2000 p.s.f. If soil and site conditions do not meet this requirement, additional engineering by soils & structural engineer will be required prior to construction. Additional engineering is not II. CONCRETE

- A. Unless otherwise noted, all exterior slabs on grade (including garage slab) shall be 3500 p.s.i. & interior slabs shall be 2500 p.s.i. min. (28 day compressive strength) concrete on 4" compacted gravel fill. Interior slabs shall be placed on
- B. All foundation walls and footings shall be 3000 p.s.i. (28 day compressive
- C. Foundation walls, garage slabs and exterior concrete shall have 5% min. / 7% max. air entrainment.

D. Provide slab saw cut control joints at 30'- 0" o.c. max. III. FOUNDATIONS

A. Verify depth of frost footings with local codes.

- B. Unless otherwise noted, foundation walls shall be poured concrete, see einforced foundation details.
- C. Provide termite control protection as required by 2018 K.R.C. SECTION 320. D. Foundation drainage is to comply with 2018 K.R.C. 405. A sump pump may be required on level sites. Contractor is to verify that foundation drainage is installed as required by site.
- E. The finished grade shall slope away from foundation walls 6" min. in the first 10'-0" run. Top of grade at brick and stone veneer walls to be held 4" min. below foundation. Verify weep holes to be open and not covered by finished grade. Top of grade at siding or dryvit walls to be held 8" min. below top of foundation or as req'd by siding or dryvit mfr.
- F. Foundation walls that retain earth and enclose habitable or usable spaces below grade shall be dampproofed. Waterproofing shall be used if a high water table and/or other severe soil conditions are known to exist.

IV. STRUCTURAL STEEL

A. All structural steel shall conform with ASTM Spec. A-36. V. CARPENTRY

- A. Unless otherwise noted, all 2 x 4 & 2 x 6 framing lumber shall be Spruce Pine Fir #2 or equal. All 2 x 8, 2 x 10, and 2 x 12 framing shall be Southern Pine No.1 grade. Beams & headers shall have an allowable bending stress of 1300 p.s.i. for all 2 x 10's and 1250 p.s.i. for all 2 x 12's. Floor joists shall have a repetitive bending stress of 1500 p.s.i. for 2 x 10's and 1440 for 2 x 12's. All 2 x dimensional lumber headers are to have a minimum of (2) cripple studs @
- B. All wall plates to be Spruce Pine Fir #2 or equal, min. Fc = 425 p.s.i.
- C. Glulam beam design values are: Fb = 2400 p.s.i., Fv = 195 p.s.i., E = 1,800,000 p.s.i. Members with equal or greater design values may be substituted. Minimum (3) cripple studs at each end unless otherwise noted on
- D. Laminated veneer lumber beams (L.V.L.) design values are: Fb = 2800 p.s.i., Fv = 285 p.s.i., E = 2,000,000 p.s.i. Members with equal or greater design values may be substituted. Minimum (3) Cripple studs at each end unless otherwise noted on plan. Verify multiple member connection with manufacturer.
- E. Girder trusses to have (1) 2 x 4 cripple stud for every 2231 pounds of end reaction, in 2 x 4 walls & (1) 2 x 6 cripple stud for every 3506 pounds of end reaction, in 2 x 6 walls. See truss mfr. specs for loads. When bearing studs required exceed width of girder truss, provide Simpson T.B.E. Truss Bearing Enhancers.
- F. Provide solid bearing to foundation or beam below for all beams, headers & girder trusses. Provide blocking between joists.
- Double header joists & trimmers at all floor openings. Blocking between joists under parallel partitions All headers @ bearing partitions to be (2) 2 x 12's unless noted
- otherwise.

 1 row of 1" x 3" cross bridging @ 8'-0" o.c. max. spacing per joist span.
 Floor construction: A.P.A. rated Sturd-I-Floor, 20" o.c. T&G exposure 1
 Provide fire-stopping in accordance with 2013 K.R.C. R-602.8. Exterior walls shall be sheathed fully with 19 ₃₂ plywood or o.s.b. For walls greater than 96" tall, additional plywood or o.s.b. sheets may be used to create full height sheathing. All seams to be backed w/ blocking equal to stud size. Attach sheathing to studs w/ 8d nails at 4" o.c. at panel edges
- and 12" o.c. at intermediate supports. ALTERNATE OPTION, $\%_6$ " plywood or o.s.b. attached to studs with 8d nails at <u>3</u> inches o.c. at panel edges & 12 inches on center at intermediate supports, max. stud spacing 16" on center. Install weather resistant membrane per mfr. specs over all sheathing not water repellent. All interior walls & ceilings are to be covered with ½" min. gypsum board, with metal corner reinforcing, tape, float and sand (3 coats). Garage ceilings to be covered with gypsum board as noted. Gypsum board to be attached to studs with any of the following: 5d nails, .120" wallboard nails,
- or #6 drywall screws 1 ½" long. Wall board fasteners are to be 7 inches on center at all studs and plates.

 9. If marble flooring is used in areas not noted, floor system may have to be
- reevaluated to control joist deflection.

 10. All interior partitions to have studs @ 16" o.c.
- H. Interior trim and finishes to be selected by Owner.
- I. All wood trim and siding applied over weather resistant membrane to be
- A. Masonry veneer walls shall be separated from the water repellant sheathing by an air space of a min. of 1" nominal ($\frac{7}{4}$ " actual). When the 1" space is not free of mortar, a weather resistant membrane or building paper is required over
- B. Flashing shall be located beneath the first course of masonry above finished grade above the foundation wall or slab and at other points of support including roof intersections & lintels.
- C. Weep holes shall be provided at a maxium spacing of 33" O.C. Weep holes shall not be less than 3/16" in diameter & shall be located immediately above VII. MISCELLANEOUS

A. Unless otherwise noted, provide:

- Install craft faced insulation batts in exterior walls or install polyethelene vapor barrier against inside of unfaced batt wall insulation. Insulation against insule of unlaced batt wall insulation.

 Insulating double glazing (U-Value .35 max.) at all exterior glass areas. Interior and exterior glass areas including sliding doors, patio areas. Interior and exterior areas. Interior and exterior glass as required by section 308 of 2013 K.R.C..
- B. The working drawings do not provide specific detail and workmanship requirements in areas including but not limited to flashing, caulking, painting, nailing, soils, dryvit, waterproofing, concrete curing placement and finishing. Builder is responsible for providing supervised workmanship in all areas of
- C. It shall be the owner's responsibility to review materials and products specified on drawings (and match to existing building if applicable) and verify the same with contractor prior to start of construction.

D. Windows noted on plan will be Vinyl.

- Window grid patterns may vary with manufacturer.

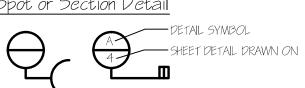
 All egress or rescue windows from sleeping rooms must have a minimum net clear opening of 5.7 square feet. The minimum net clear opening height dimension shall be 24 inches. The minimum net clear opening width dimension shall be 20 inches 2018 K.R.C. 310.
- Insulating double glazing(U-value 0.35 max.)at all exterior glass areas. Interior and exterior glass areas including: sliding doors,patio doors, and windows shall be tempered glass as required by KRC R308
 Install and flash windows and doors per manufacturers specs. All wall and roof penetrations shall be flashed and sealed.
- E. All exterior wall penetrations are to be flashed or caulked in accordance with specifications provided by exterior wall surface manufacturer (i.e. brick, siding,
- F. Dryvit is to be installed according to manufacturers specs. Refer to the dryvit builders reference guide "Building Successfully with Dryvit EIFS" or the most

current specs available from Dryvit Systems, Inc.

- G. Exterior siding to be installed over weather resistant membrane per siding mfr specs. Flashing on vertical & horizontal siding joints per siding mfr specs.
- H. Provide GFCI, AFCI, & tamper resistance receptacles @ all locations req'd per 2008 National Electric Code

Detail Reference System

Spot or Section Detail



Building Section - SECTION SYMBOL — SHEET SECTION DRAWN ON

Detail Title

-SHEET DETAIL TAKEN FROM

Brick Lintel Schedule		
CLEAR SPAN	LINTEL SIZE	BEARING
6'-6"	L31/2" X 31/2" X1/4"	6"
7'-0"	L31/2" X 31/2" X 3/8"	6"
91-011	L5" X 3½" X 3/8"	6"
11-011	L6'' X 3 1/2'' X 3/8''	7"
-41	L6" X 4" X 3/8"	7"
12'-6"	L7" X 4" X 3/8"	8"
3'-8''	L7'' X 4'' X 1/2''	8"
14'-8''	L8" X 4" X 1/2"	8"

NOTE: ALL LINTELS TO BE PRIMED PRIOR TO INSTALLATION. LINTELS NOTED ARE TYPICAL UNLESS NOTED OTHERWISE ON PLAN

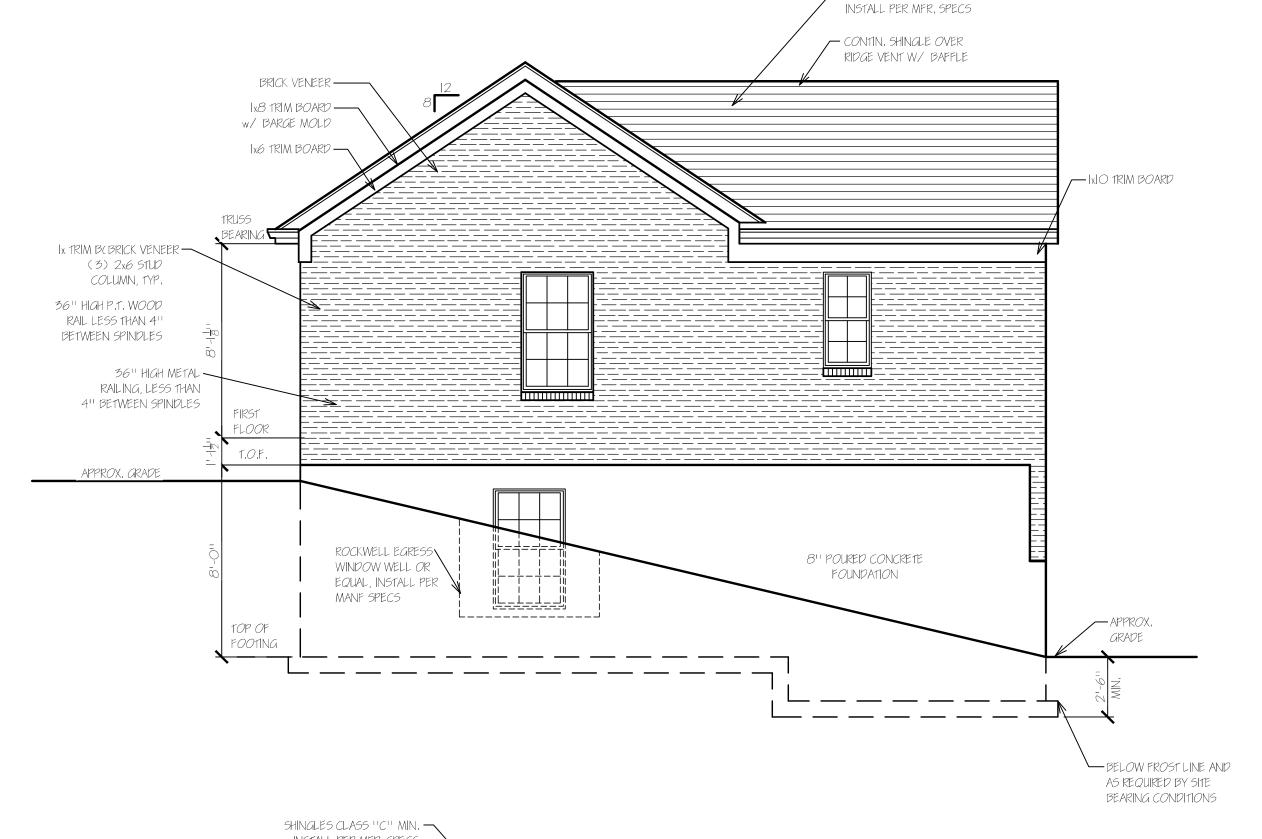
LINTEL TO BE SET LONG LEG VERTICAL

Key to Materials CONCRETE GRAVEL CONCRETE BLOCK BRICK

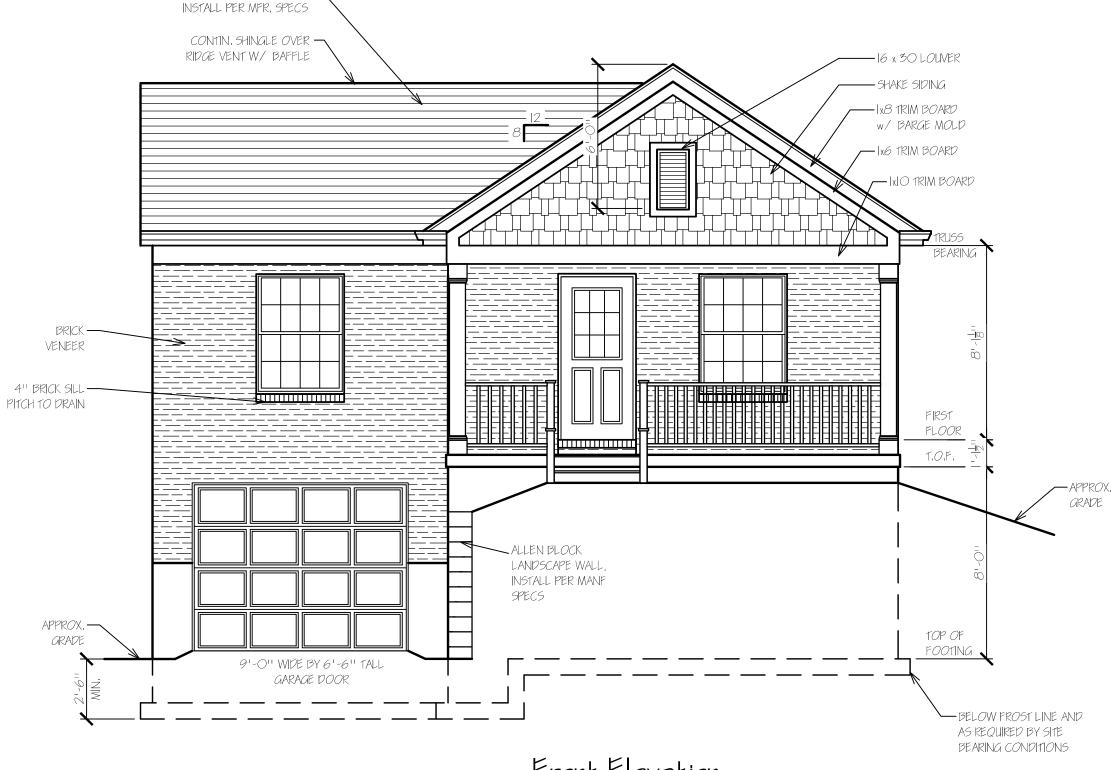
FRAMING AT 16'' O.C.

FINISHED WOOD
BATT / BLOWN INSULATION
STONE

ROUGH WOOD FRAMING



SHINGLES CLASS "C" MIN.



Front Elevation

Scale/4| = | | -0| |

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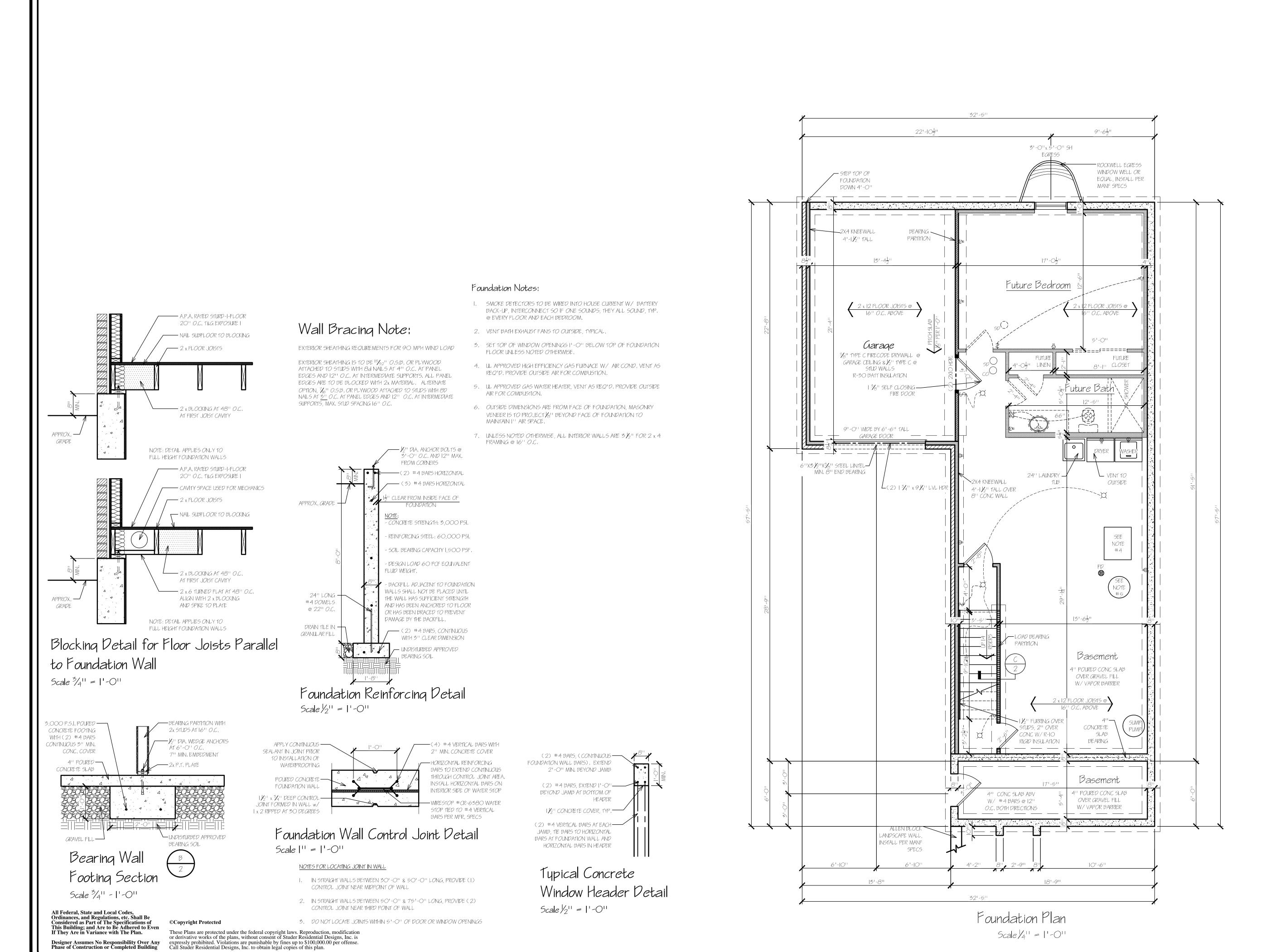
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Housing Opportunities of Northern Kentucky

 NO.
 REVISIONS
 DATE

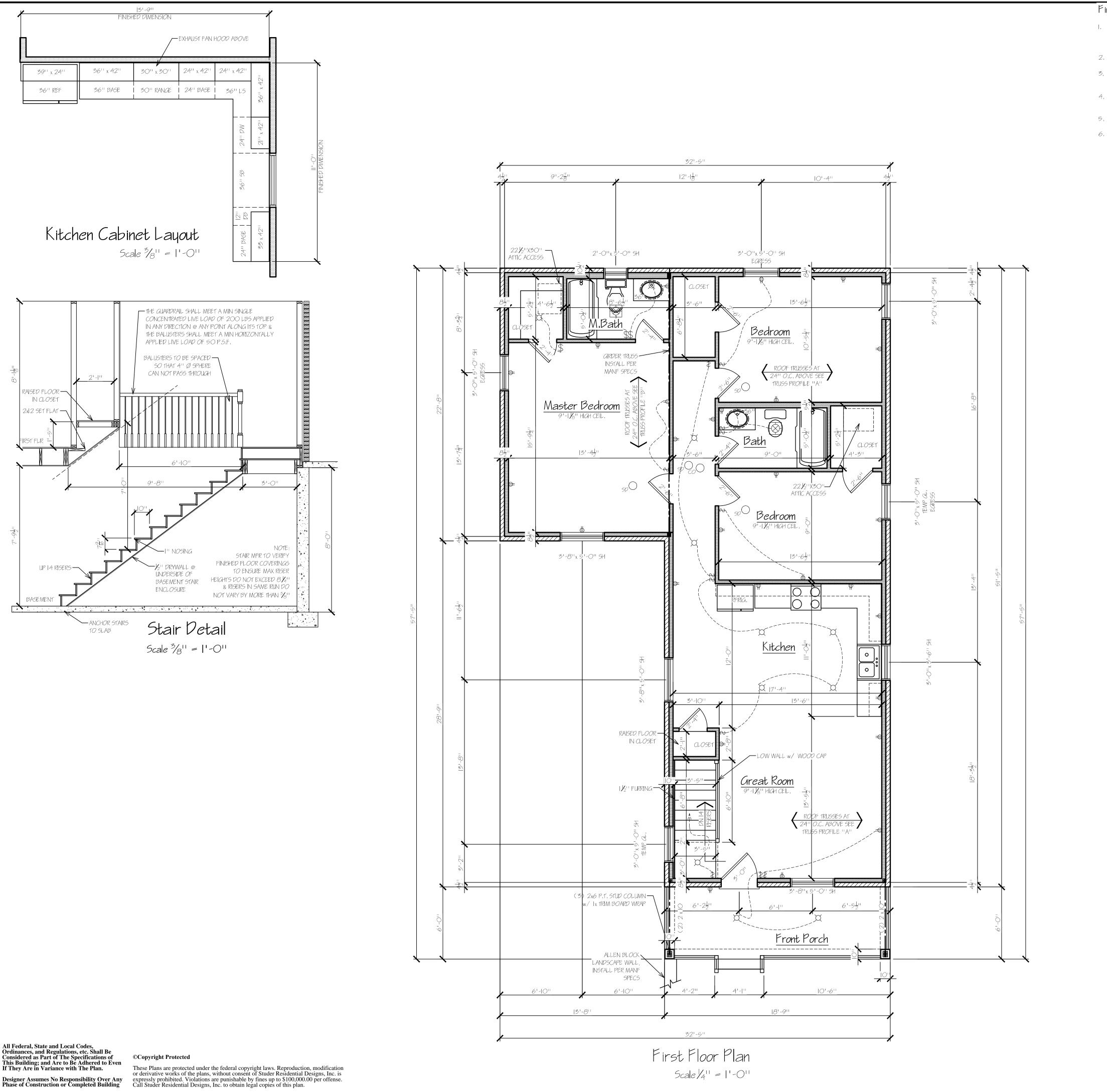
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 Revised Per Bldr. Request - MAV
 05-29-19

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| Proposed Residence for | Housing Opportunities of Northern Ke| | 437 Division, Erlanger, KY

Sheet

2



First Floor Notes:

- I. SMOKE DETECTORS TO BE WIRED INTO HOUSE CURRENT W/ BATTERY BACK-UP, INTERCONNECT SO IF ONE SOUNDS, THEY ALL SOUND, TYP. @ EVERY FLOOR AND EACH BEDROOM.
- 2. VENT BATH EXHAUST FANS TO OUTSIDE, TYPICAL.
- 3. SET TOP OF WINDOW OPENINGS 6'-10 $\frac{7}{8}$ " ABOVE FLOOR UNLESS NOTED OTHERWISE.
- 4. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS ARE 3 $\frac{1}{2}$ " FOR 2 x 4 FRAMING @ 16" O.C.
- 5. CARBON MONOXIDE DETECTORS OUTSIDE OF SLEEPING AREAS
- 6. OUTSIDE DIMENSIONS ARE FROM THE FACE OF THE FOUNDATION, MASONRY VENEER IS TO PROJECT V_8 " BEYOND FACE OF FOUNDATION TO MAINTAIN I" AIR SPACE

MIN. (2) 2x12 HEADER, EXTEND

INSTALL PER MFR SPECS MIN. IOOO# UPLIFT CAPACITY

(2) ROWS OF 16D SINKER NAILS

8D COMMON OR GALVANIZED BOX NAILS IN 3" GRID PATTERN AS SHOWN AND 3" O.C. IN ALL FRAMING (STUDS, BLOCKING AND

STRUCTURES AND 24" FOR USE IN THE FIRST OF TWO STORY

STRUCTURAL PANEL SHEATHING

— (2) 1/8"∅ (MIN.) x 12" ANCHOR BOLTS, 7" MIN. EMBEDMENT

DETAIL A @ END WALL

SILLS) TYP.

10 CONTINUOUS STUD

Wall Bracing Note:

- SOLID BLOCKING, MATCH MAXIMUM

OF 2 OPENINGS

Portal Framing Garage Door Wall

Bracing Method PFG

DOOR HEADER DEPTH & THICKNESS

IT SHALL OCCUR WITHIN 24"
OF MID-HEIGHT, BLOCKING
IS NOT REQUIRED.

DETAIL C @ SIDE

OF OPENING

0.00.00.00.00.00.00.00.00.00.00

EXTERIOR SHEATHING REQUIREMENTS FOR 90 MPH WIND LOAD

EXTERIOR SHEATHING IS TO BE $\frac{19}{32}$ " O.S.B. OR PLYWOOD ATTACHED TO STUDS WITH 8d NAILS AT 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ALL PANEL EDGES ARE TO BE BLOCKED WITH 2x MATERIAL. ALTERNATE OPTION, $\frac{7}{16}$ " O.S.B. OR PLYWOOD ATTACHED TO STUDS WITH 8D NAILS AT $\frac{3}{10}$ O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS, MAX. STUD SPACING 16" O.C.

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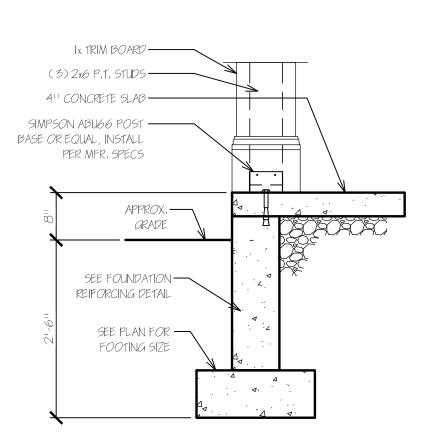
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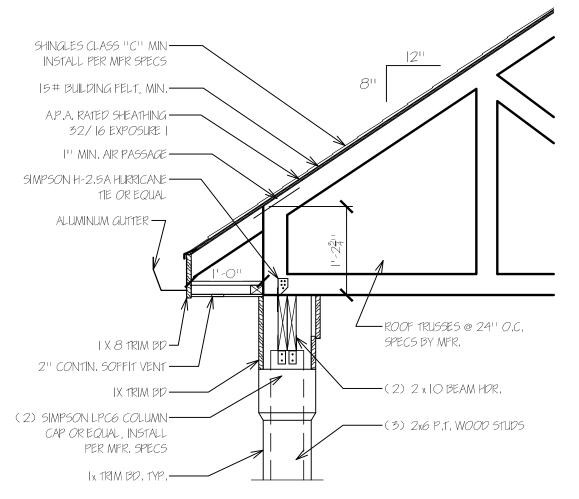
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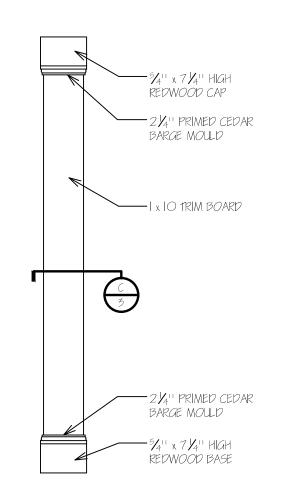
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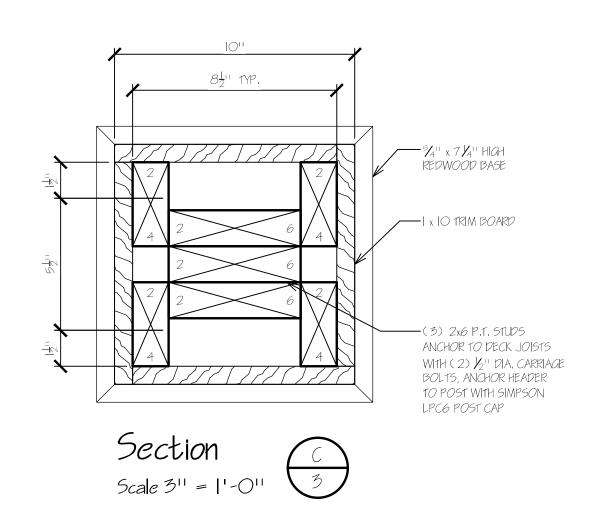
Covered Porch Framing Section @ Wood Post Scale $\frac{3}{4}$ | = | '-0 | '



Covered Porch Section @ Beam $5 \text{cale } \frac{3}{4} \text{ | } = \text{ | } \text{ | } \text{-0} \text{ | } \text{ | }$



Porch Column Elevation Scale 1/2" = 1'-0"



SHINGLES CLASS "C" MIN——

15# BUILDING FELT, MIN.

A.P.A. RATED SHEATHING ——— 32/16 EXPOSURE 1

R-38 BLOWN INSULATION -

ALUMINUM GUTTER —

I'' MIN, AIR PASSAGE —

1 X 8 1RIM BD 🗕

2" CONTIN, SOFFIT VENT ——

SEE MASONRY HEAD

FLASHING DETAIL

PER MFR SPECS

CAULK & FLASH WINDOWS

1/2" PLYWOOD OR OSB SHEATHING SEE GENERAL NOTES SHEET #1

WEATHER RESISTANT MEMBRANE OVER ----

SHEATHING WITH I'' MIN, AIR SPACE METAL WALL TIES AT 16" O.C.-

EXTEND FLASHING 6" MIN. ABOVE ---

MORTAR NET DRAINAGE MESH-

A CLEAR WEEP SYSTEM

WEEP HOLES AT 33" O.C. -

BRICK VENEER —

POLY FLASHING -

APPROX, GRADE ---

SEE FOUNDATION ---

l'-8" x 8"---

REIFORCING DETAIL

CONCRETE FOOTING

DRAIN TILE TO SUMP -

OR DAYLIGHT WITH GRAVEL FILL

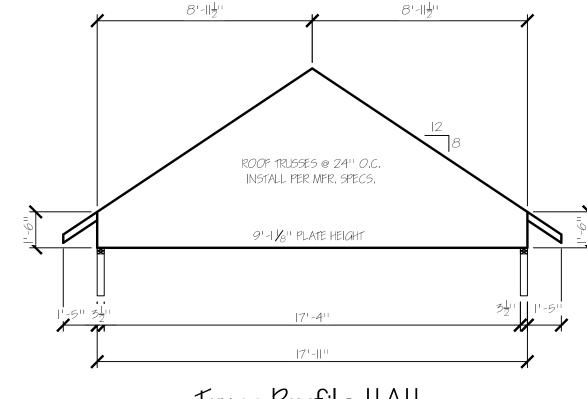
MORTAR NET, LAP MEMBRANE OVER

AND WEEP SYSTEM OR EQUIVALENT APPROVED MEANS OF PROVIDING

HORIZONTAL x 24" O.C. VERTICAL AND 12" MAX, FROM EDGE OF ANY OPENING

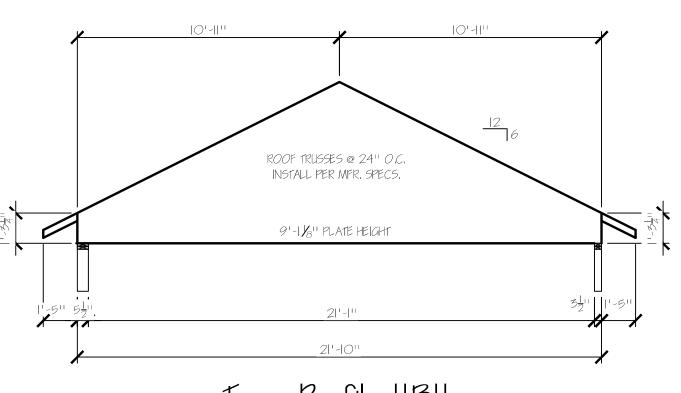
INSTALL PER MFR SPECS

- I. TRUSS SPECS PROVIDED BY MFR
- 2. ENGINEERED ROOF TRUSS DRAWINGS & A LAYOUT SHEET WILL BE GIVEN TO THE FIELD INSPECTOR FOR USE @ THE FRAME INSPECTION
- 3. TRUSSES ARE NOT DESIGNED FOR ANY FUTURE STORAGE LOAD
- 4. PROFILES MAY NOT SHOW TOP CHORDS FLAT AS REQ'D FOR HIP ROOFS, TRUSS MFR TO LOCATE & FABRICATE TOP CORDS AS REQ'D
- 5. TRUSSES SHALL BE CONNECTED TO ALL WALL PLATES OR BEAMS AT ALL BEARING LOCATIONS W/ SIMPSON H2.5A HURRICANE TIE OR EQUAL 11E W/ MIN UPLIFT RATING OF 175 LBS TRUSS DESIGN SHEETS SPECIFYING HIGHER AMOUNTS OF UPLIFT SHALL GOVERN SELECTION OF TIE, SIMPSON H2,5A TIES ARE APPROVED FOR LOADS THE USE OF SIMPSON HTS20 STRAP OVER TOP CHORD OF TRUSS SHALL BE REQ'D, HTS20 STRAPS ARE APPROVED FOR 1,245 LBS OF UP LIFT CAPACITY. (2) STRAPS MAY BE USED TO DOUBLE CAPACITY (2,490 LBS)

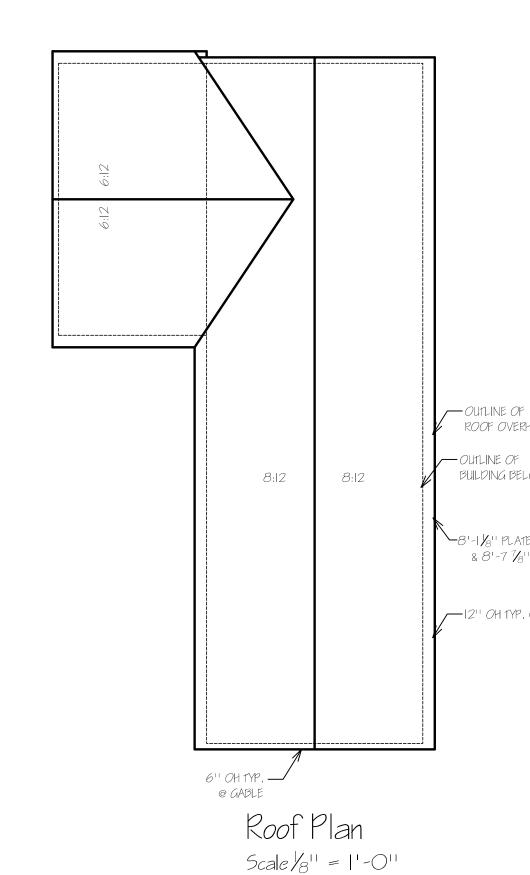


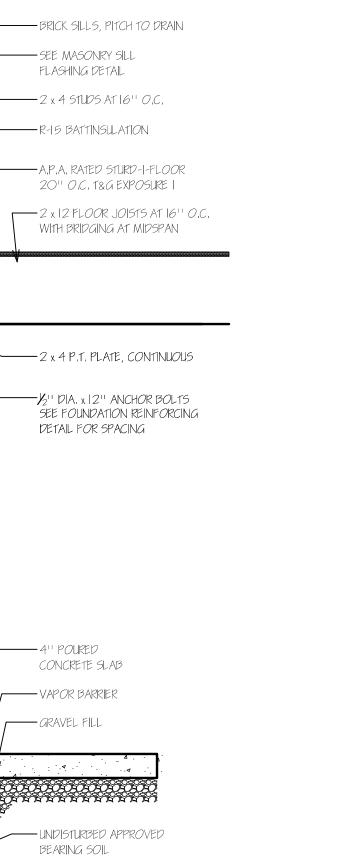
Truss Profile "A"

5cale/4'' = 1'-0''



Truss Profile 11811





- 2x BLOCKING W/I'' Ø HOLES

—(2) 2 x 12 HEADER TYP, @ BEARING PARTITIONS

@ 24" O.C. TO ALLOW FOR AIR

PASSAGE FROM SOFFIT TO BRICK

SPECS BY MFR.

AIRSPACE

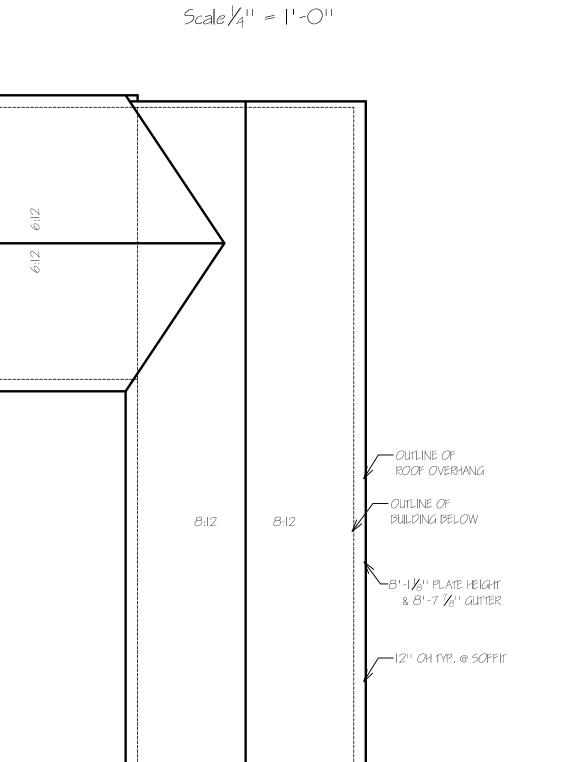
---- SEE MASONRY SILL FLASHING DETAIL

- 4" POURED CONCRETE SLAB

VAPOR BARRIER

------ GRAVEL FILL

BEARING SOIL



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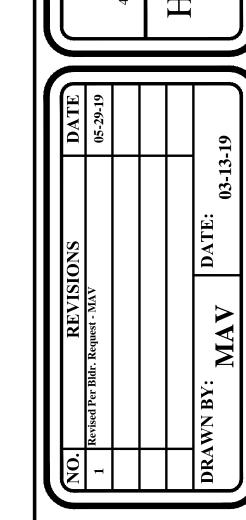
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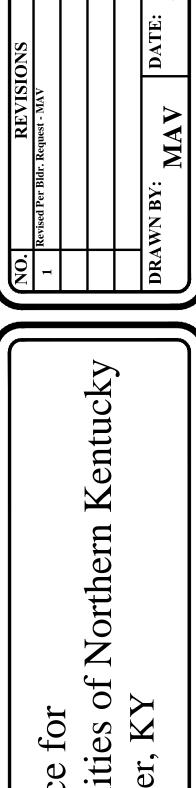
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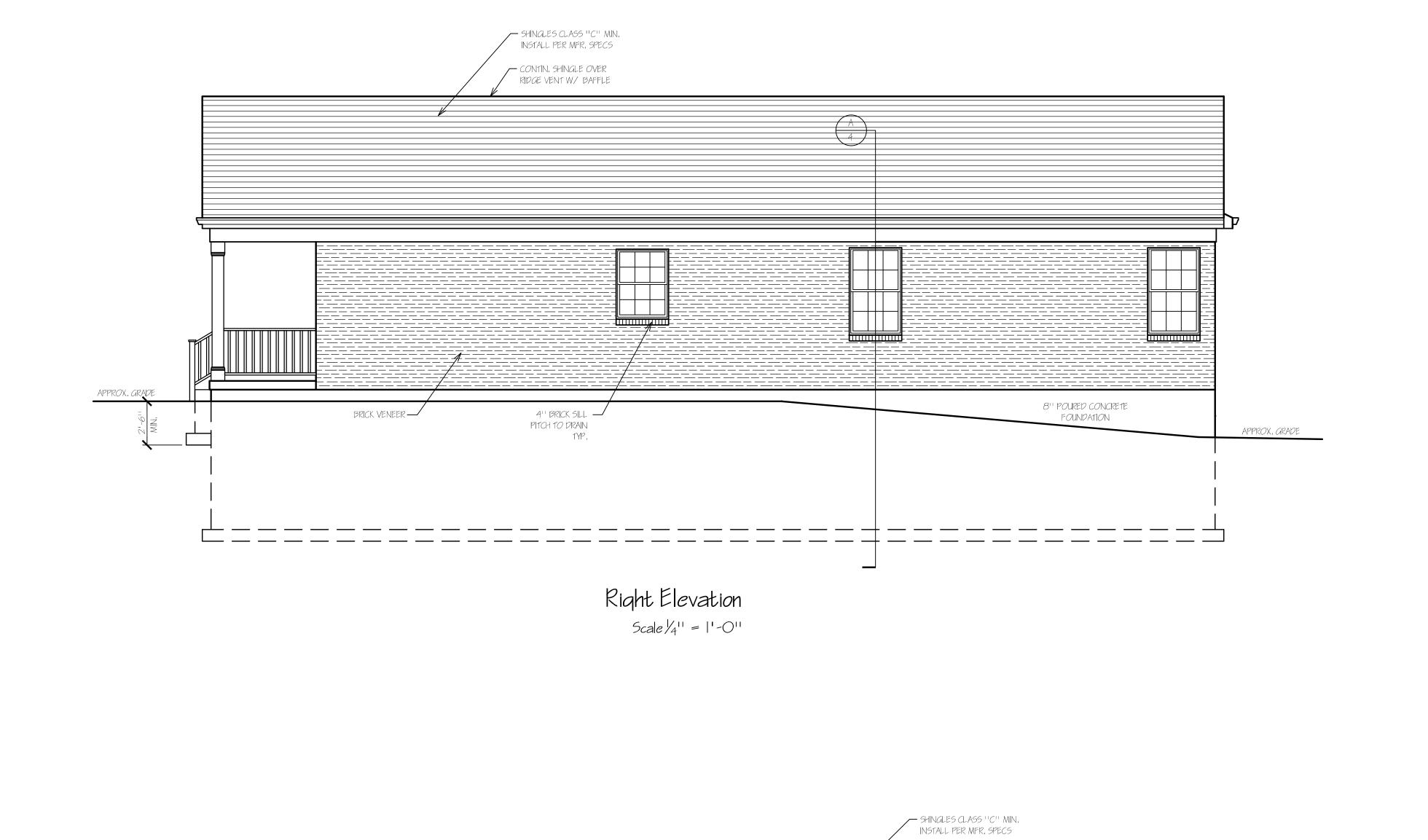
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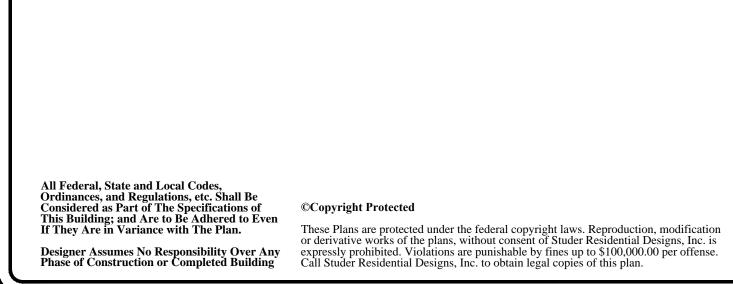




/ CONTIN. SHINALE OVER RIDGE VENT W/ BAFFLE

8" POURED CONCRETE FOUNDATION

GRADE



BRICK VENEER —

4" BRICK SILL —

8" POURED CONCRETE FOUNDATION

PITCH TO DRAIN TYP.

APPROX.— GRADE